

FREDERICK BALL APARTMENTS

815 Elm Street, Quincy, IL 62301

DEVELOPER: BRINSHORE DEVELOPMENT & QUINCY HOUSING AUTHORITY
ARCHITECT: K2 STUDIO

GROSS BUILDING AREAS	DRAWING INDEX:	
RESIDENTIAL UNITS: 56,749 S.F. COMMUNITY AREA: 7,208 S.F.	1. COVER PAGE	12. BUILDING - F
QUINCY BUILDING CODES:	2. CONTEXT PLAN	13. NEW BLDNG. GROUND FLOOR
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	11. BUILDING - D3	



1 EXISTING SITE LOCATION
SCALE: 1/128" = 1'-0"





1 EXISTING AERIAL VIEW
SCALE: 1/64" = 1'-0"

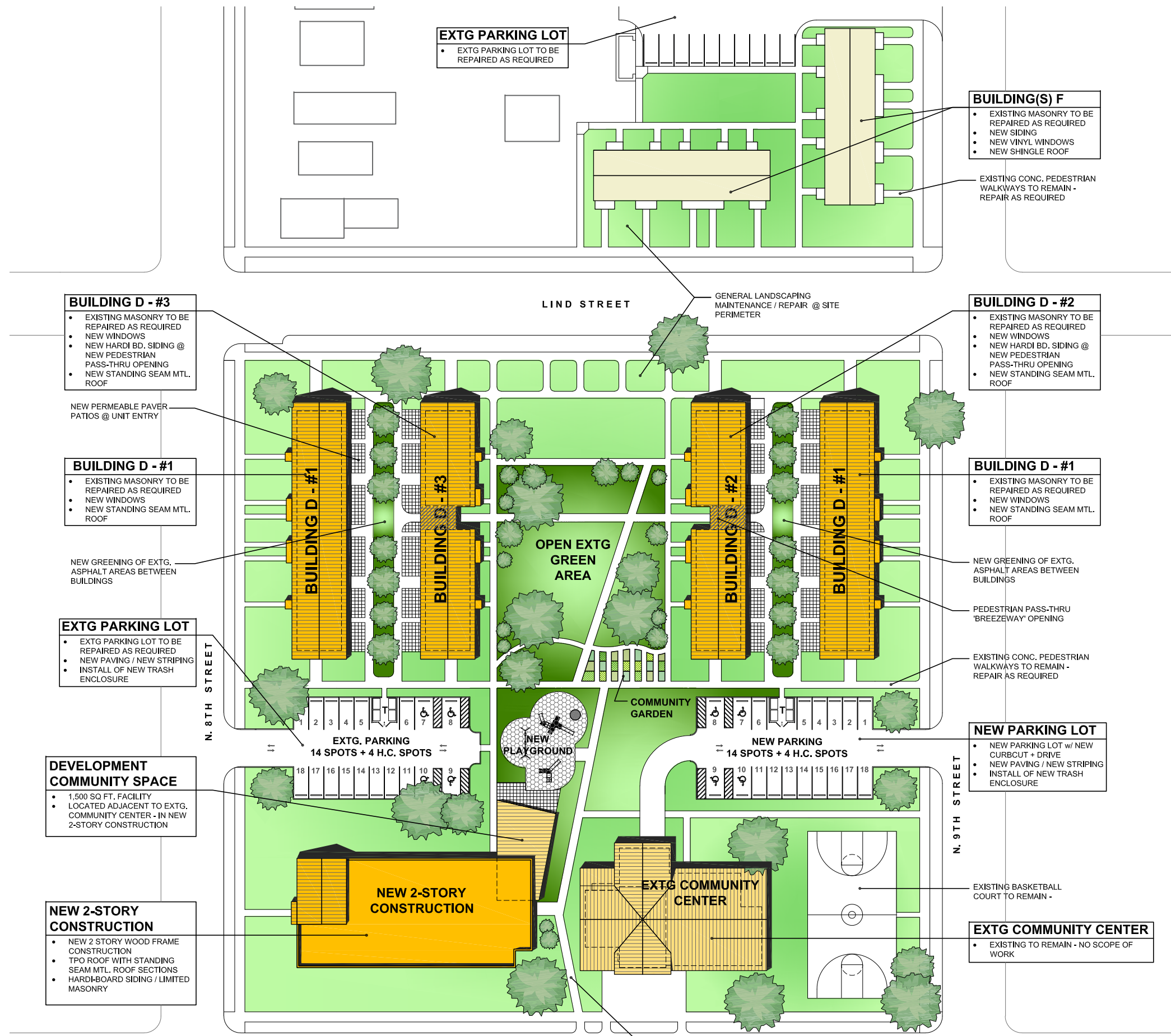
EXISTING UNIT MATRIX FOR REFERENCE ONLY

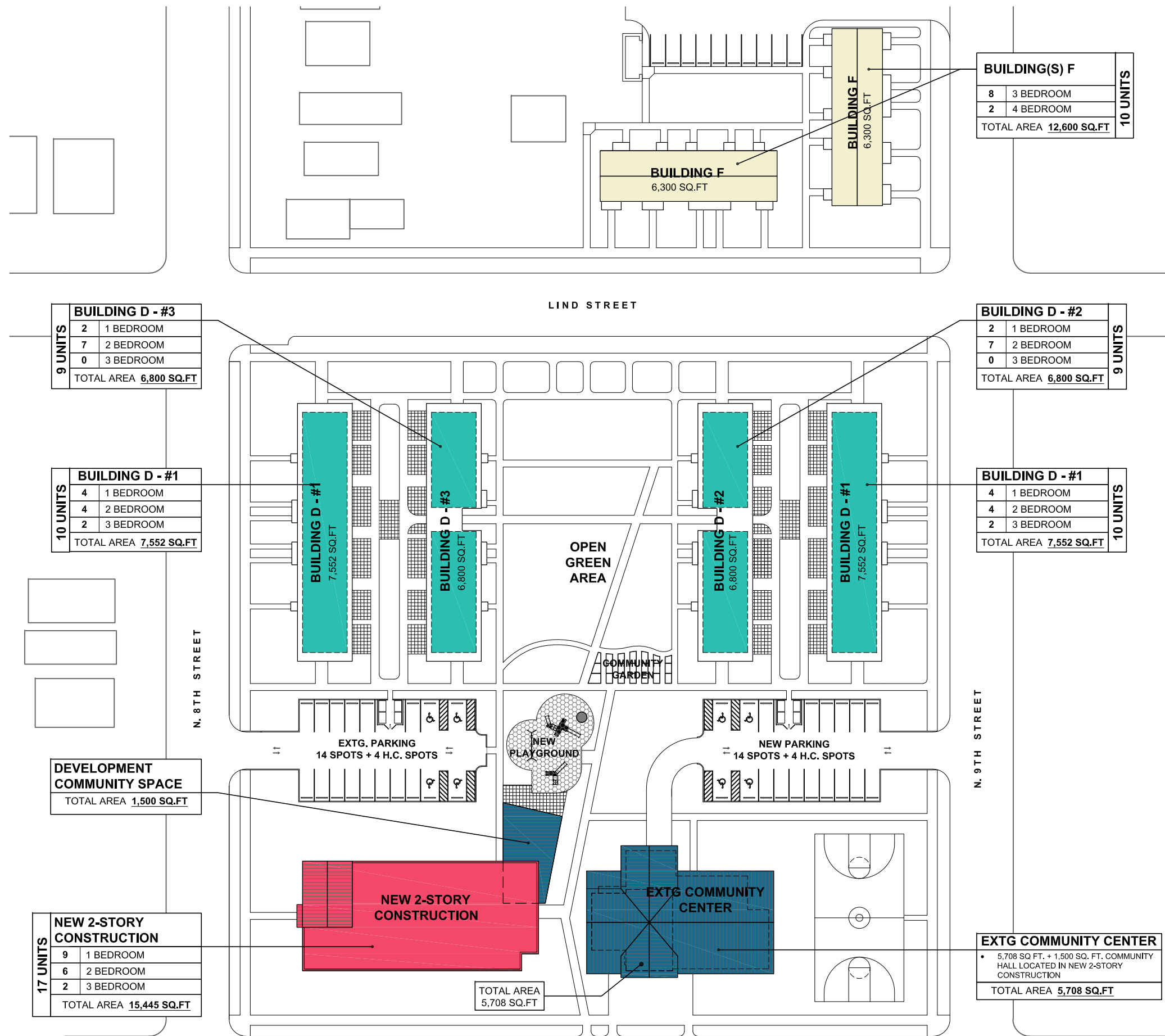
SEE NEW UNIT MATRIX
FOR PROJECT TOTAL UNIT COUNT

EXISTING						
	BUILDING "A"	BUILDING "D"	BUILDING "E"	BUILDING "F"		
1 BEDROOM	1	4	0	0		
2 BEDROOM	0	4	6	2		
3 BEDROOM	0	2	0	2		
4 BEDROOM	2	0	0	1		
	X 1 BUILDING	X 4 BUILDING	X 1 BUILDING	X 2 BUILDING		
TOTAL NUMBER OF UNITS	3	40	6	10	59	

	TOTAL
1 BEDROOM	17
2 BEDROOM	26
3 BEDROOM	12
4 BEDROOM	4

	NORTH PARKING	SOUTH PARKING	TOTAL
EXISTING PARKING SPOTS	10	24	34





SEE INDIVIDUAL BUILDING FLOORPLANS FOR UNIT LAYOUTS

NEW UNIT MATRIX

ACCESSIBILITY PROVISION:
TOTAL OF 14 (OR 20% OF TOTAL PROJECT) ACCESSIBLE DWELLING UNITS ARE PROVIDED (5% UFAS AND REMAINING 15% AS IAC). ACCESSIBLE UNITS AREA MIX OF UNIT TYPES AND DISTRIBUTED OVER BOTH THE EXISTING RENOVATION AND NEW CONSTRUCTION BUILDINGS. DEVELOPMENT PROVIDES REQUIRED 2% SENSORY IMPAIRMENT UNITS AT 2 DWELLING UNITS TOTAL - LOCATED IN NEW CONSTRUCTION, UNITS 104 + 206.

		UNIT	ACCESSIBLE	TOTAL
NEW	1 BEDROOM	7	2	9
	2 BEDROOM	2	4	6
	3 BEDROOM	0	2	2
	TOTAL	10	7	17

MULTI UNIT NEW CONSTRUCTION BUILDING PROVIDES
DEVELOPMENT COMMUNITY SPACE

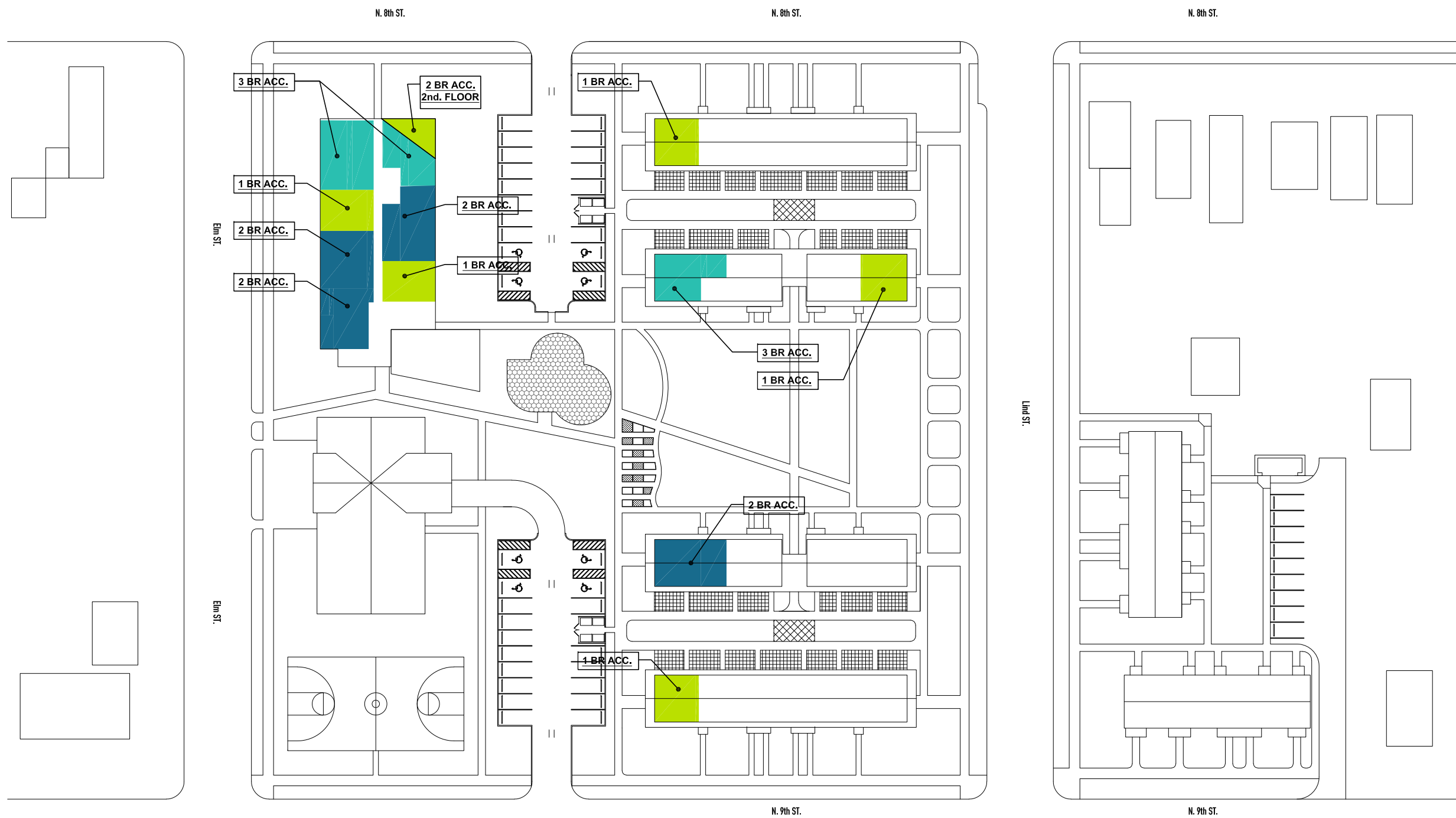
		UNIT	ACCESSIBLE	TOTAL
EXISTING (REMAIN)	1 BEDROOM	8	4	12
	2 BEDROOM	20	1	21
	3 BEDROOM	12	1	13
	4 BEDROOM	2	0	2
	TOTAL	42	6	48



TOTAL COMBINED PROJECT NEW + EXISTING			
	UNIT	ACCESSIBLE	TOTAL
1 BEDROOM	15	6	21
2 BEDROOM	22	5	27
3 BEDROOM	12	3	15
4 BEDROOM	2	0	2
TOTAL	51	14	65

	NORTH PARKING	SOUTH WEST PARKING	SOUTH EAST PARKING	TOTAL
NEW PARKING SPOTS	10	18	18	34

EXISTING COMMUNITY CENTER BUILDING TO REMAIN



1

ACCESSIBLE UNIT LOCATIONS

SCALE: 1/64" = 1'-0"

ACCESSIBILITY PROVISION:

TOTAL OF 14 DWELLING UNITS OR 20% OF UNITS PER IAC ACCESSIBILITY REQUIREMENTS (MULTI-STORY HOUSING) PROVIDED ACROSS COMPLETE PROJECT DEVELOPMENT WITH 5% UFAS FULLY ACCESSIBLE + 15% IAC ADAPTABLE UNITS. UNITS WITHIN THE MULTI-UNIT NEW CONSTRUCTION BUILDING TO PROVIDE 10% FULL ACCESSIBLE UNITS AND TO COMPLY WITH ACCESSIBILITY STANDARDS OF FEDERAL FAIR HOUSING ACT. DEVELOPMENT PROVIDES REQUIRED 2% SENSORY IMPAIRMENT UNITS AT 2 DWELLING UNITS TOTAL - LOCATED IN NEW CONSTRUCTION, UNITS 104 + 206.



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UNIT #9
1 BR - FLAT
615 s.f.

UNIT #2
UPPER
LEVEL

UNIT #3
UPPER
LEVEL

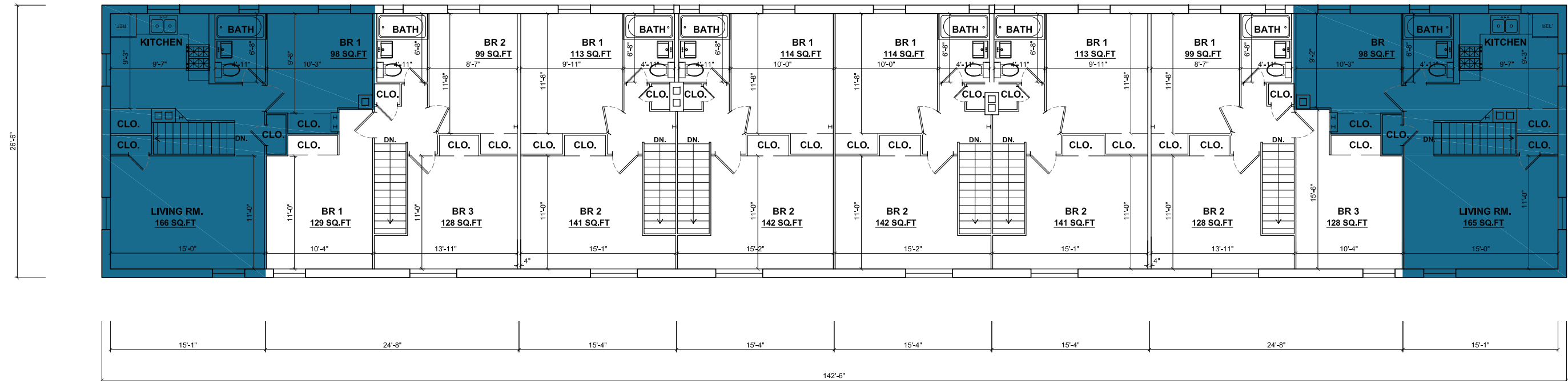
UNIT #4
UPPER
LEVEL

UNIT #5
UPPER
LEVEL

UNIT #6
UPPER
LEVEL

UNIT #7
UPPER
LEVEL

UNIT #10
1 BR - FLAT
620 s.f.



2 SECOND LEVEL PLAN
SCALE: 3/32" = 1'-0"

UNIT #1
1 BR - FLAT (ACCESSIBLE)
575 s.f.

UNIT #2
3 BR - DUPLEX
888 s.f.

UNIT #3
2 BR - DUPLEX
782 s.f.

UNIT #4
2 BR - DUPLEX
782 s.f.

UNIT #5
2 BR - DUPLEX
782 s.f.

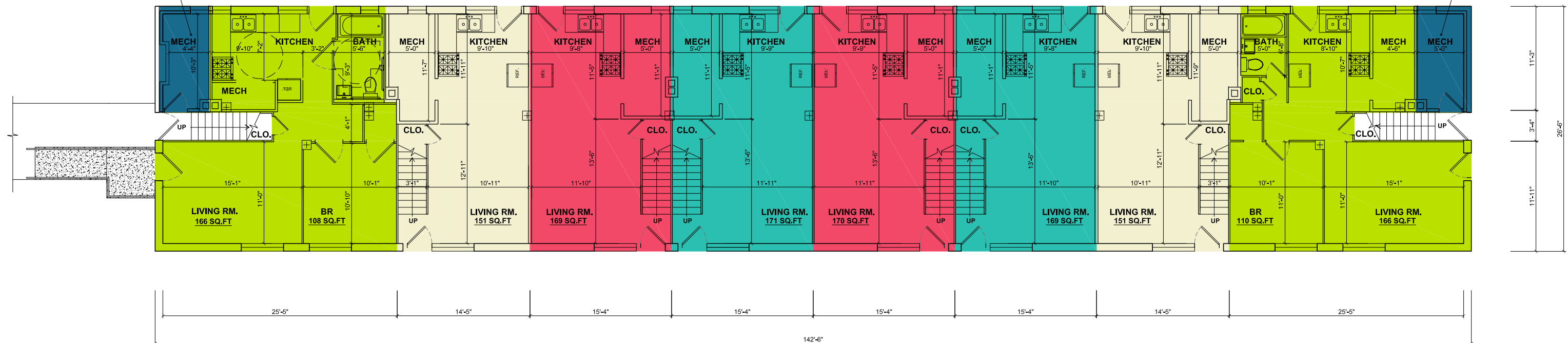
UNIT #6
2 BR - DUPLEX
782 s.f.

UNIT #7
3 BR - DUPLEX
895 s.f.

UNIT #8
1 BR - FLAT
573 s.f.

MECHANICAL
ROOM BELONGS
TO UNIT #9

MECHANICAL
ROOM BELONGS
TO UNIT #10



1 GROUND LEVEL PLAN
SCALE: 3/32" = 1'-0"

#1 BUILDING "D" RENOVATION 10 UNITS TOTAL = 4X1BR / 4X2BR / 2X3BR
MINIMAL RECONFIGURATION

UNIT #7
2 BR - FLAT
700 s.f.

UNIT #8
1 BR/STUDIO - FLAT
390 s.f.

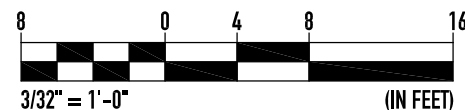
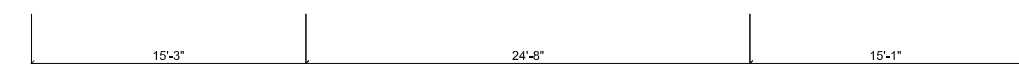
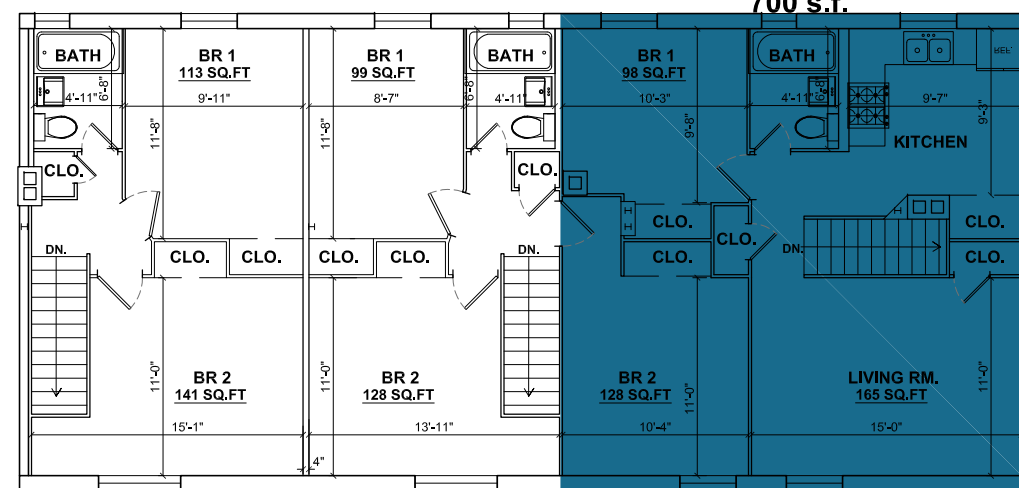
UNIT #2
UPPER
LEVEL

UNIT #3
UPPER
LEVEL

UNIT #4
UPPER
LEVEL

UNIT #5
UPPER
LEVEL

UNIT #9
2 BR - FLAT
700 s.f.



2 SECOND LEVEL PLAN
SCALE: 3/32" = 1'-0"

UNIT #1
3 BR - FLAT (ACCESSIBLE)
910 s.f.

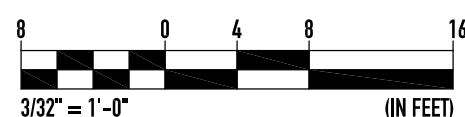
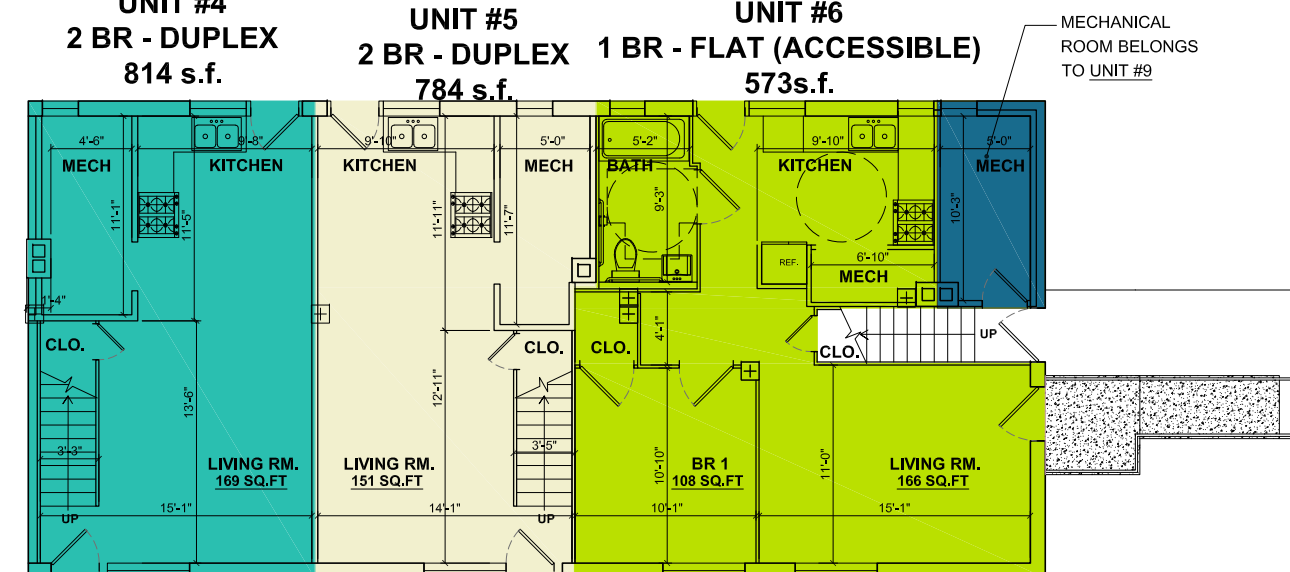
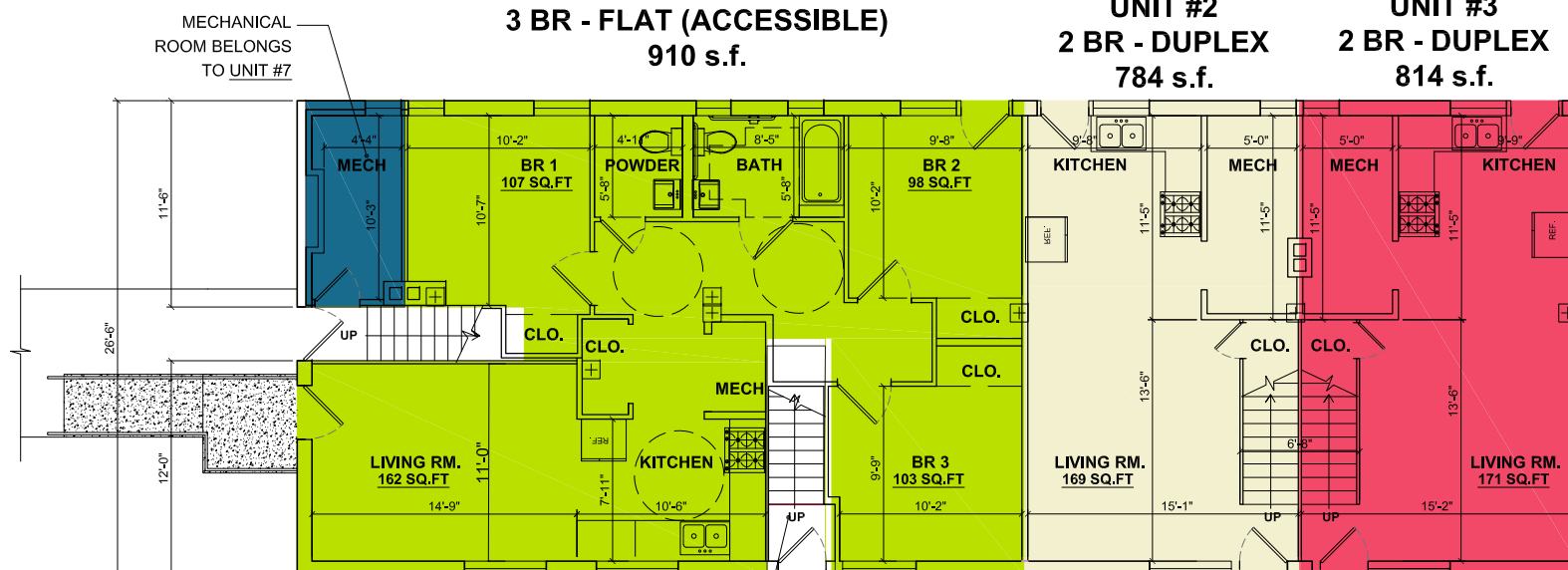
UNIT #2
2 BR - DUPLEX
784 s.f.

UNIT #3
2 BR - DUPLEX
814 s.f.

UNIT #4
2 BR - DUPLEX
814 s.f.

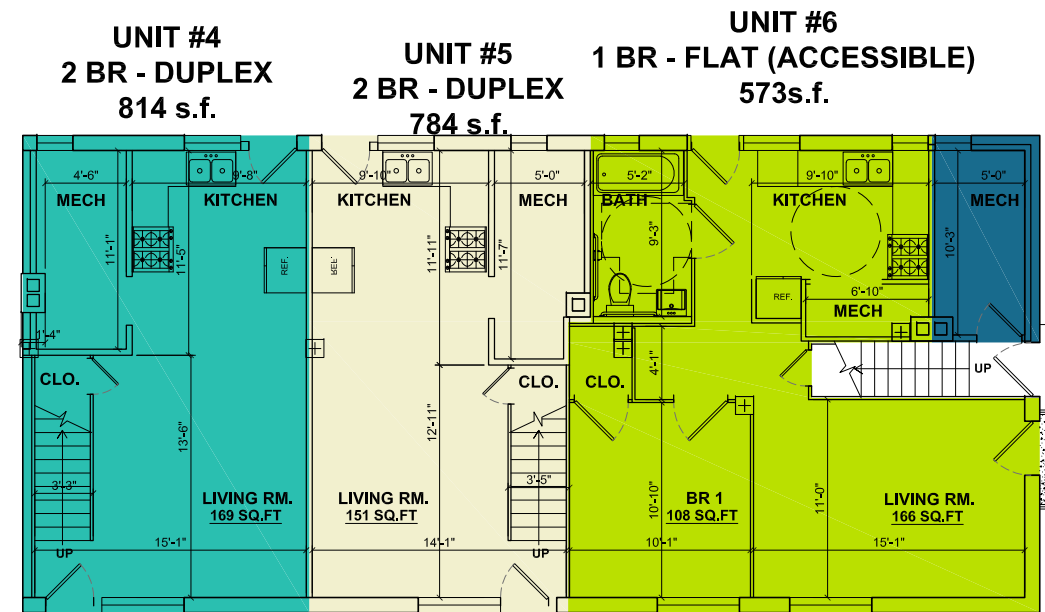
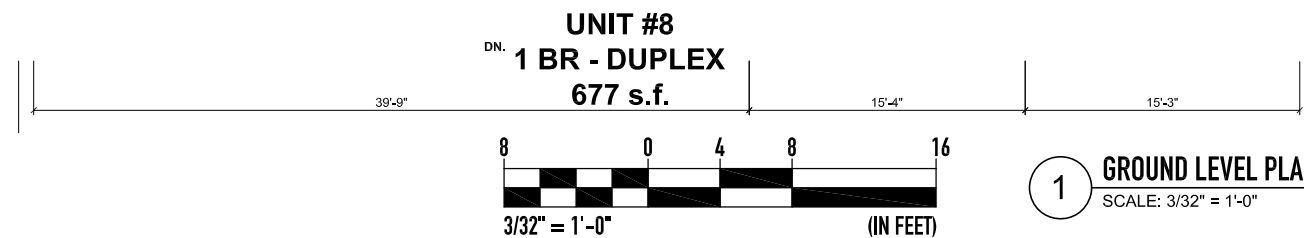
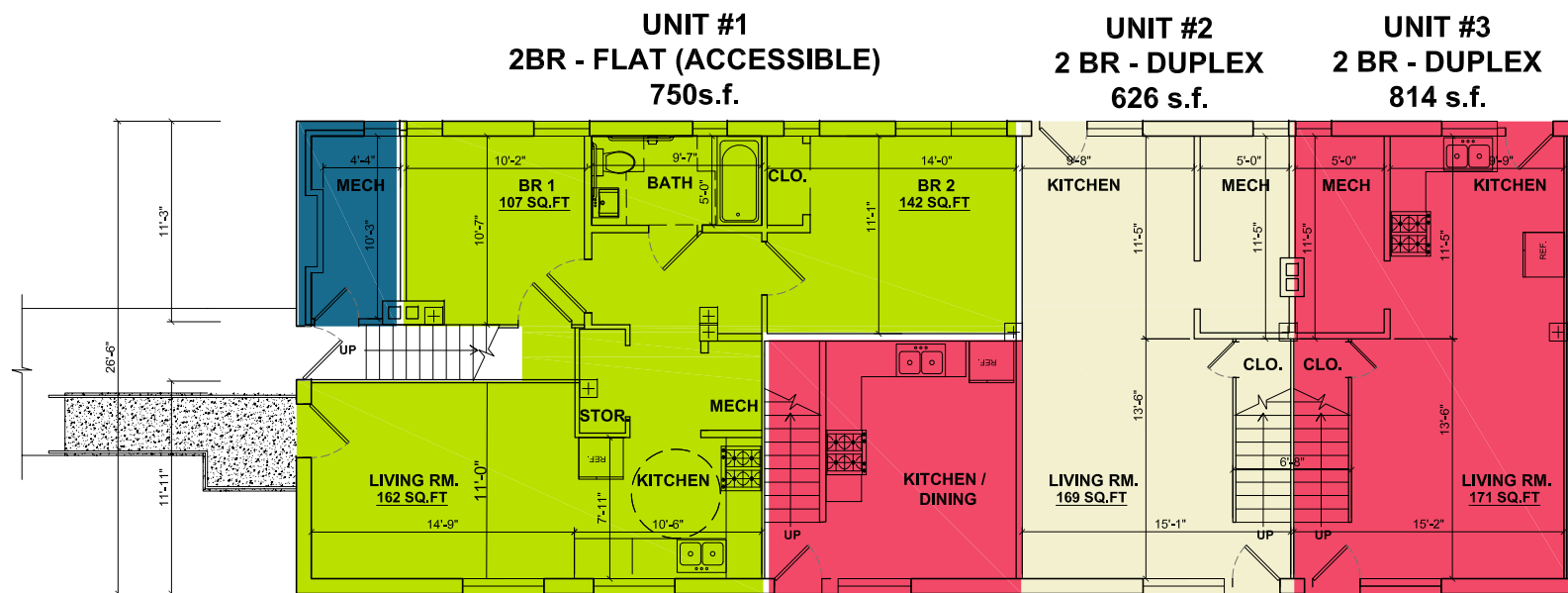
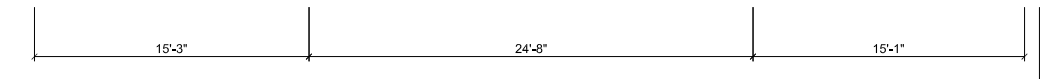
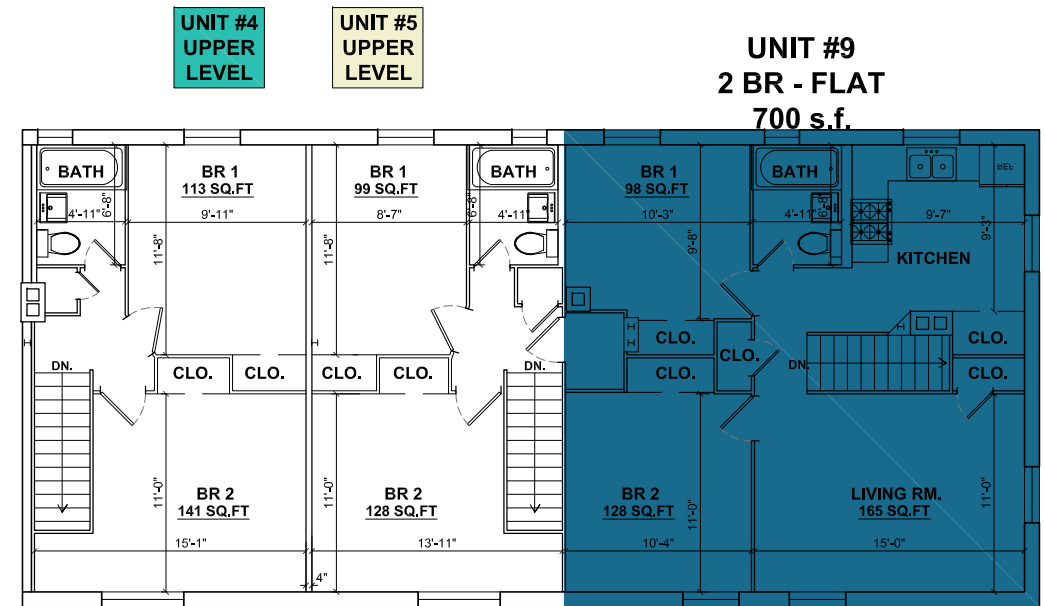
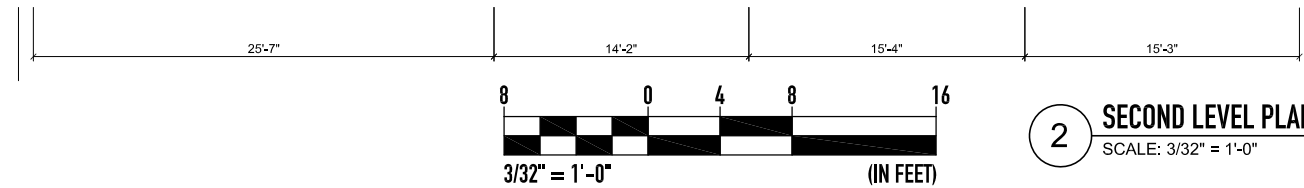
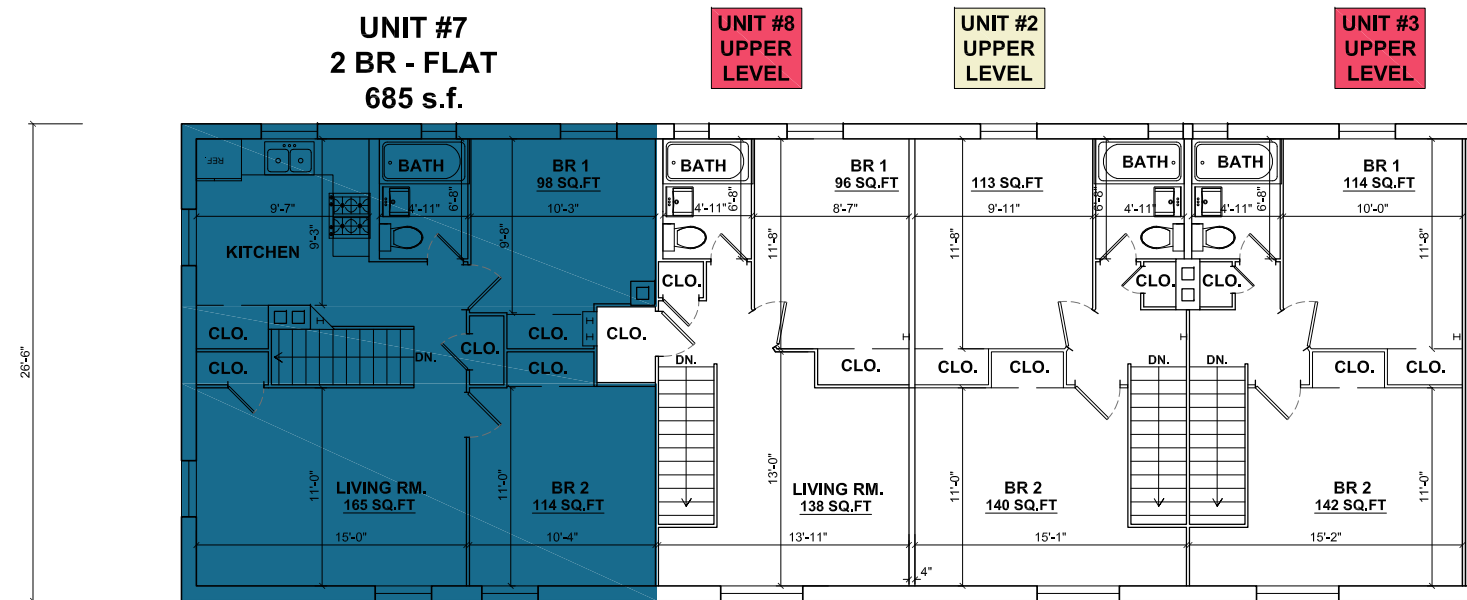
UNIT #5
2 BR - DUPLEX
784 s.f.

UNIT #6
1 BR - FLAT (ACCESSIBLE)
573s.f.

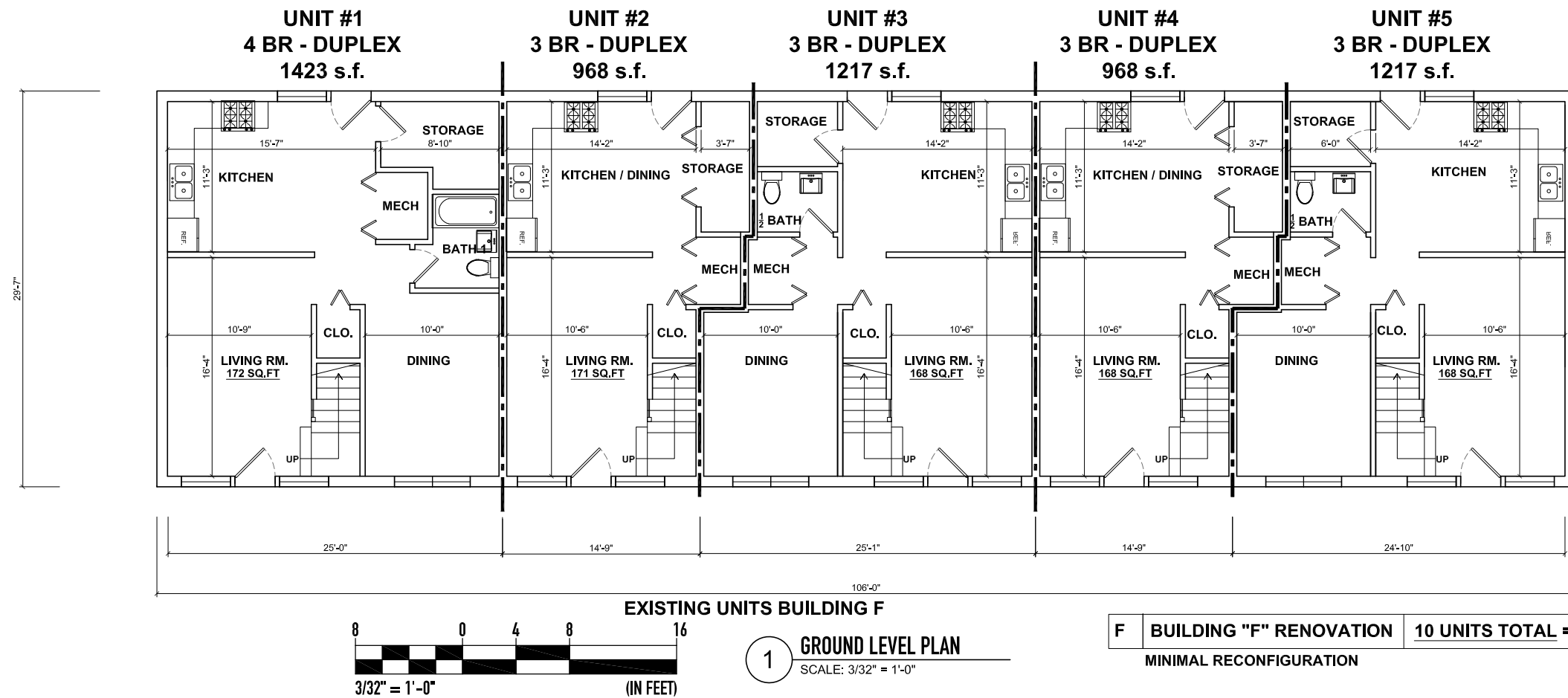
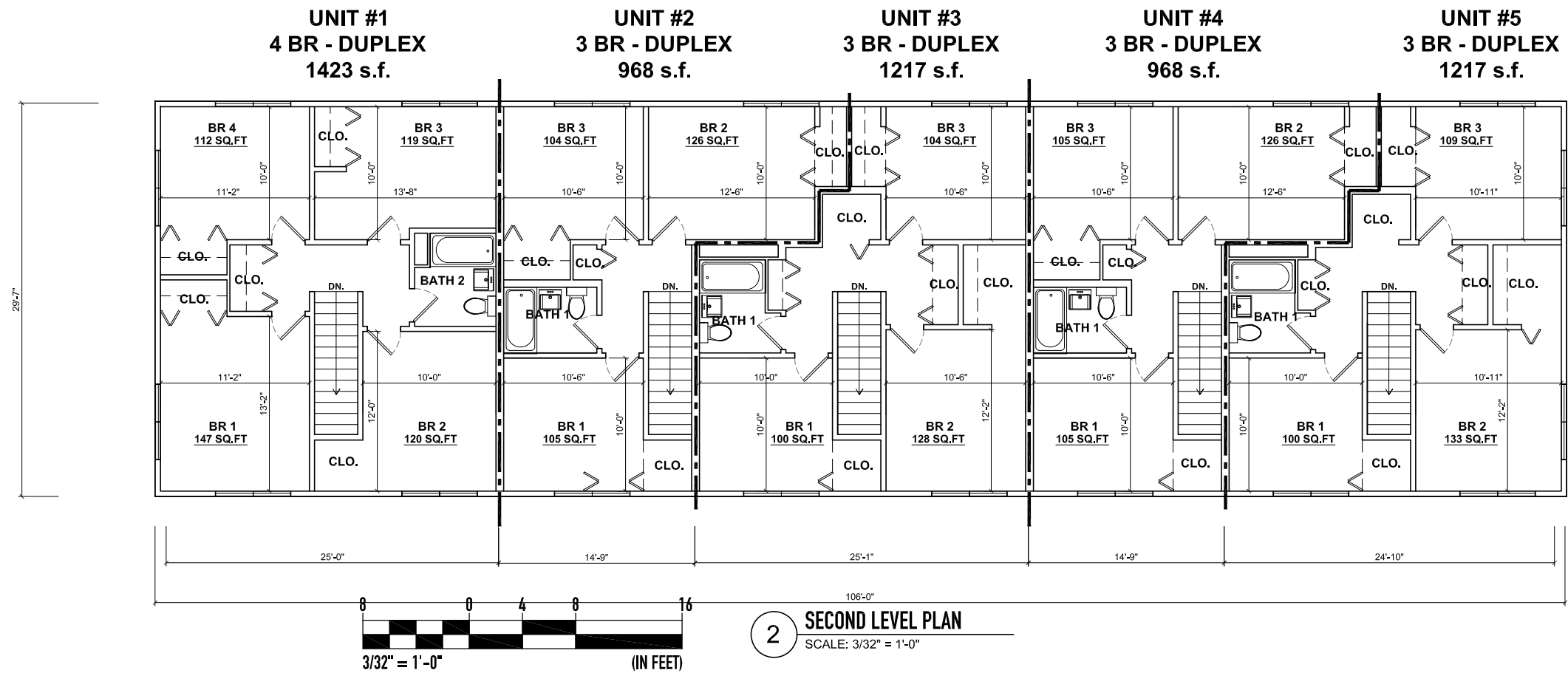


1 GROUND LEVEL PLAN
SCALE: 3/32" = 1'-0"

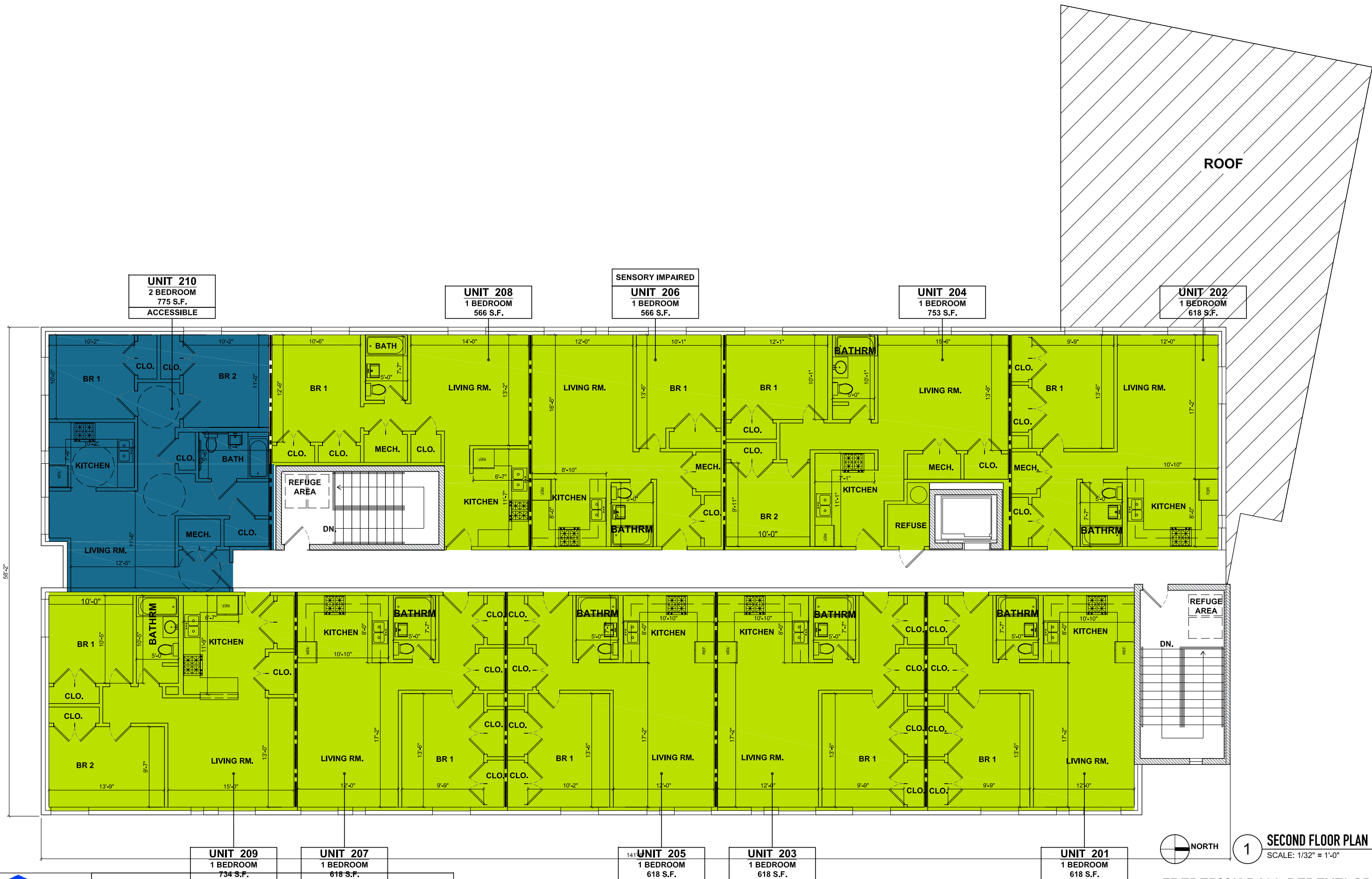
#2 BUILDING "D" RENOVATION **9 UNITS TOTAL = 2X1BR / 6X2BR/ 1X3BR**
GREATER RECONFIGURATION

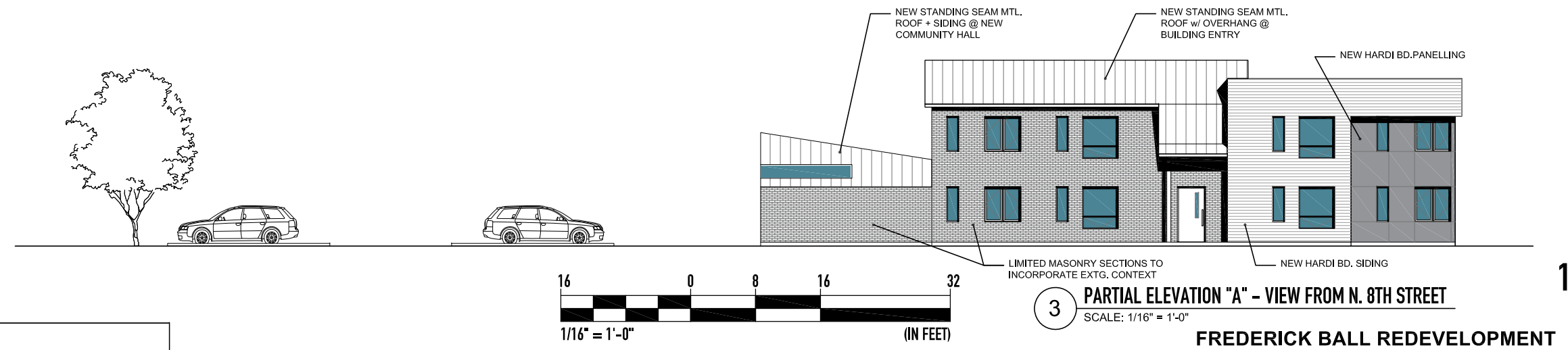
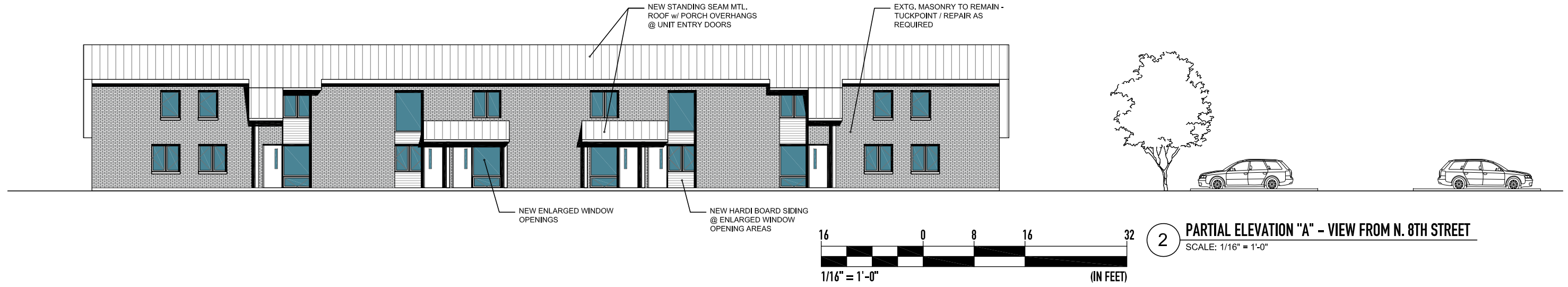
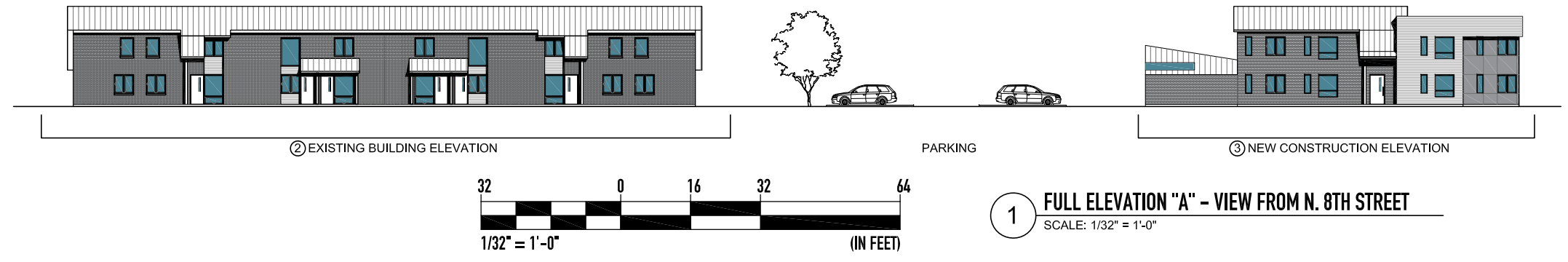


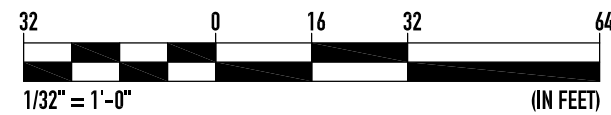
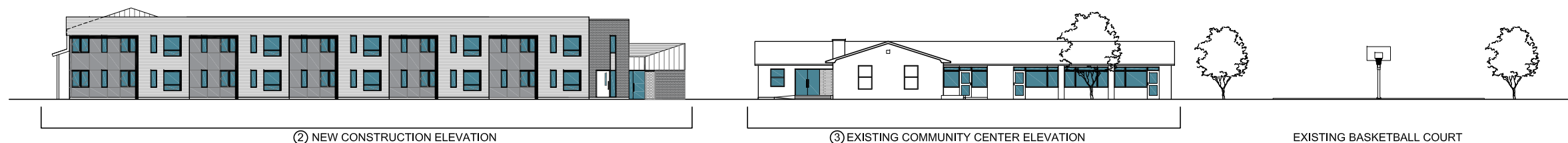
#3 BUILDING "D" RENOVATION 9 UNITS TOTAL = 2X1BR / 7X2BR
GREATER RECONFIGURATION



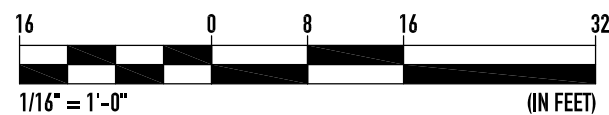
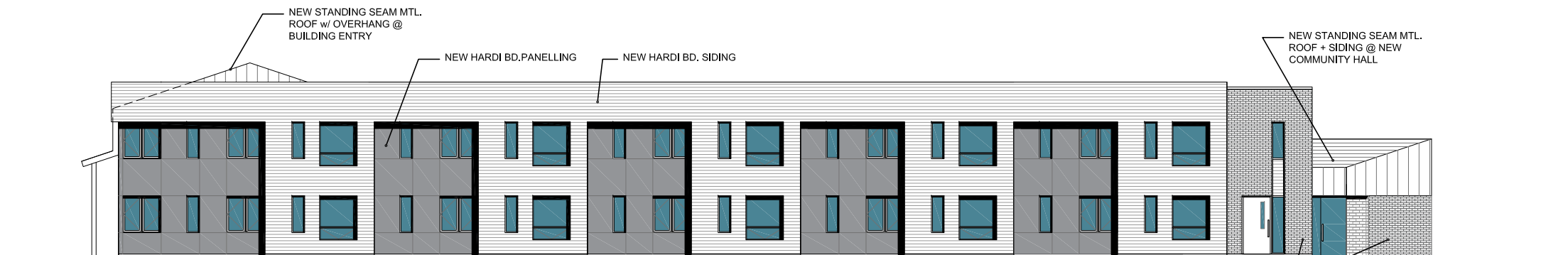




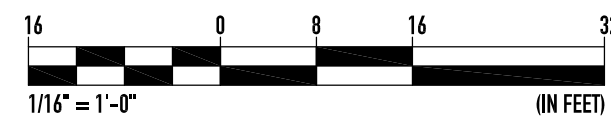
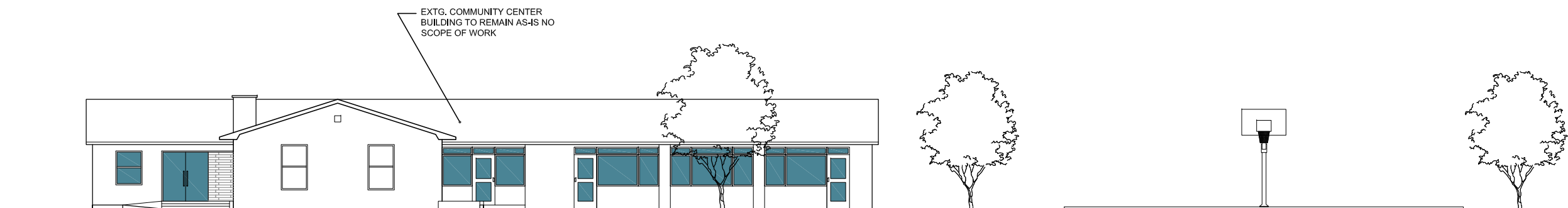




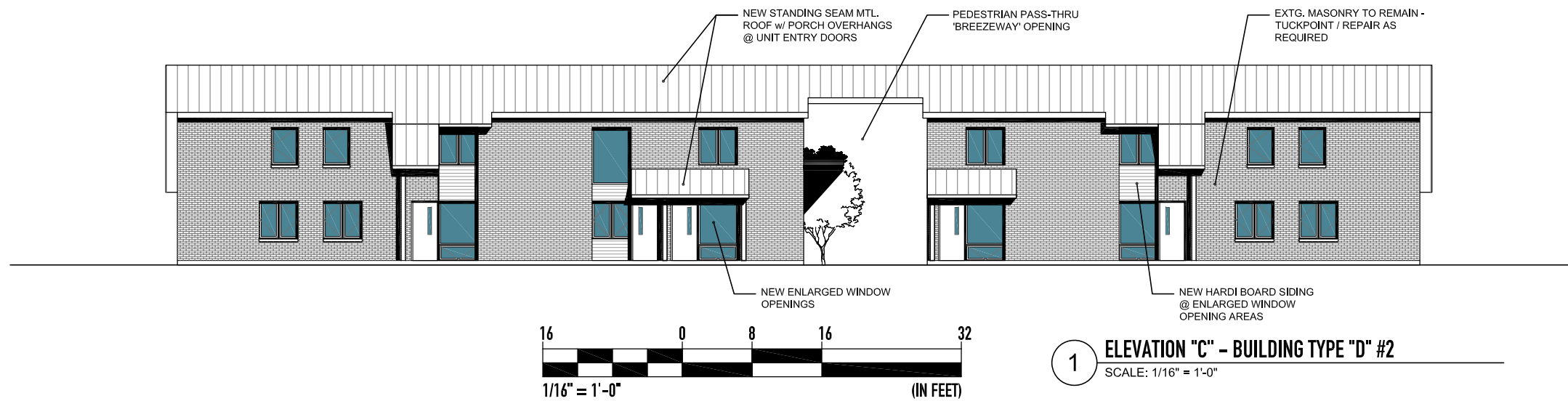
1 FULL ELEVATION "B" - VIEW FROM N. 8TH STREET
SCALE: 1/32" = 1'-0"

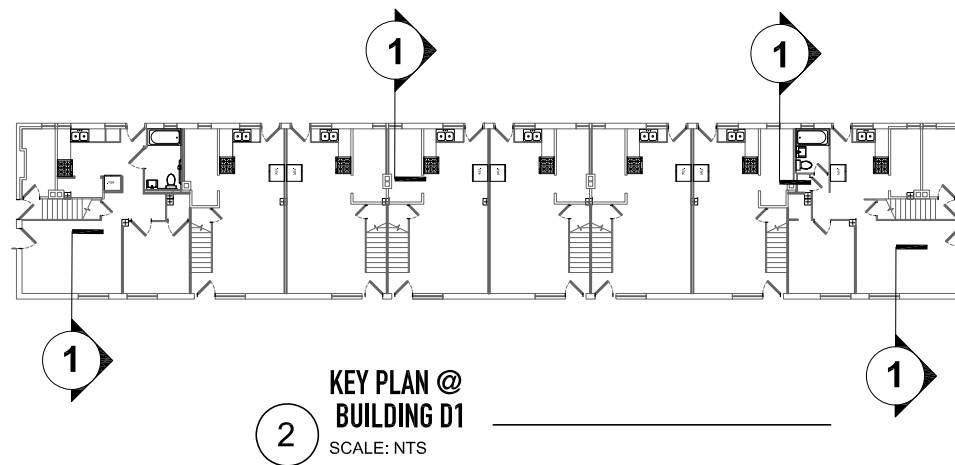
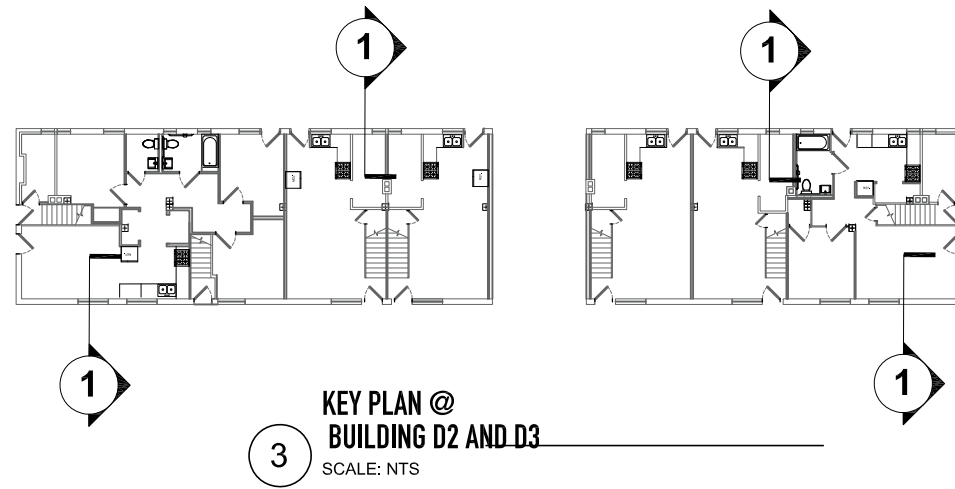


2 PARTIAL ELEVATION "B" - VIEW FROM ELM STREET
SCALE: 1/16" = 1'-0"



3 PARTIAL ELEVATION "A" - VIEW FROM N. 8TH STREET
SCALE: 1/16" = 1'-0"



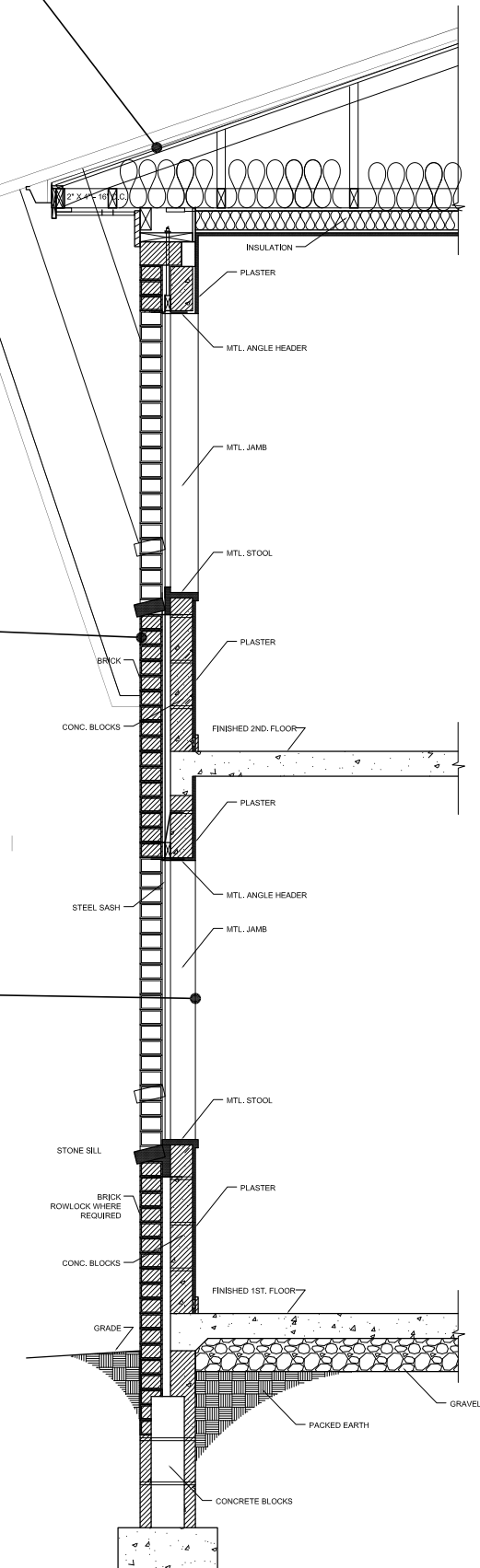


NEW STANDING SEAM METAL
ROOF REPLACEMENT
NOTE: PROVIDE MIN. R-49
INSULATION @ ROOF

LINE OF NEW STANDING SEAM
METAL ROOF BEYOND

NOTE: EXTG. BRICK TO BE
CLEANED / TUCKPOINTED AS
REQUIRED

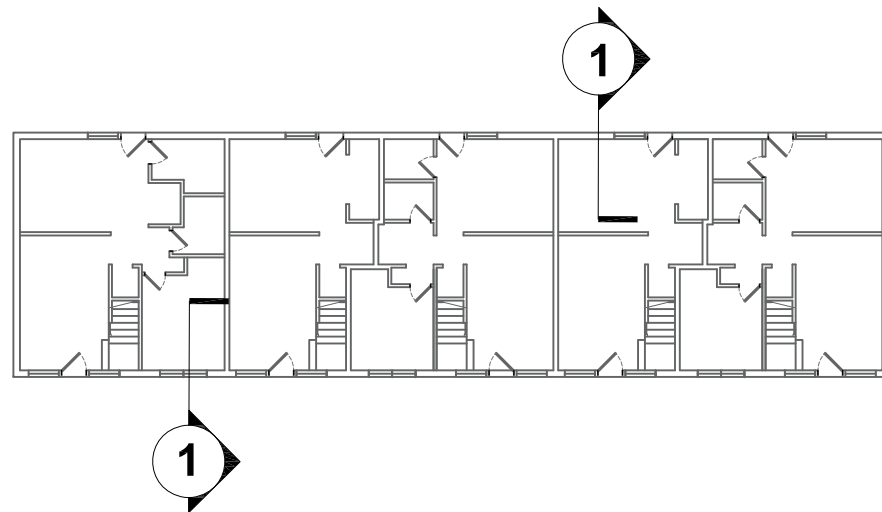
NOTE: NEW WINDOWS TO BE
PROVIDED



**TYP. EXISTING SECTION @
BUILDINGS 'D'**
SCALE: 3/8" = 1'-0"

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**KEY PLAN @
NEW CONSTRUCTION BUILDING**
SCALE: NTS

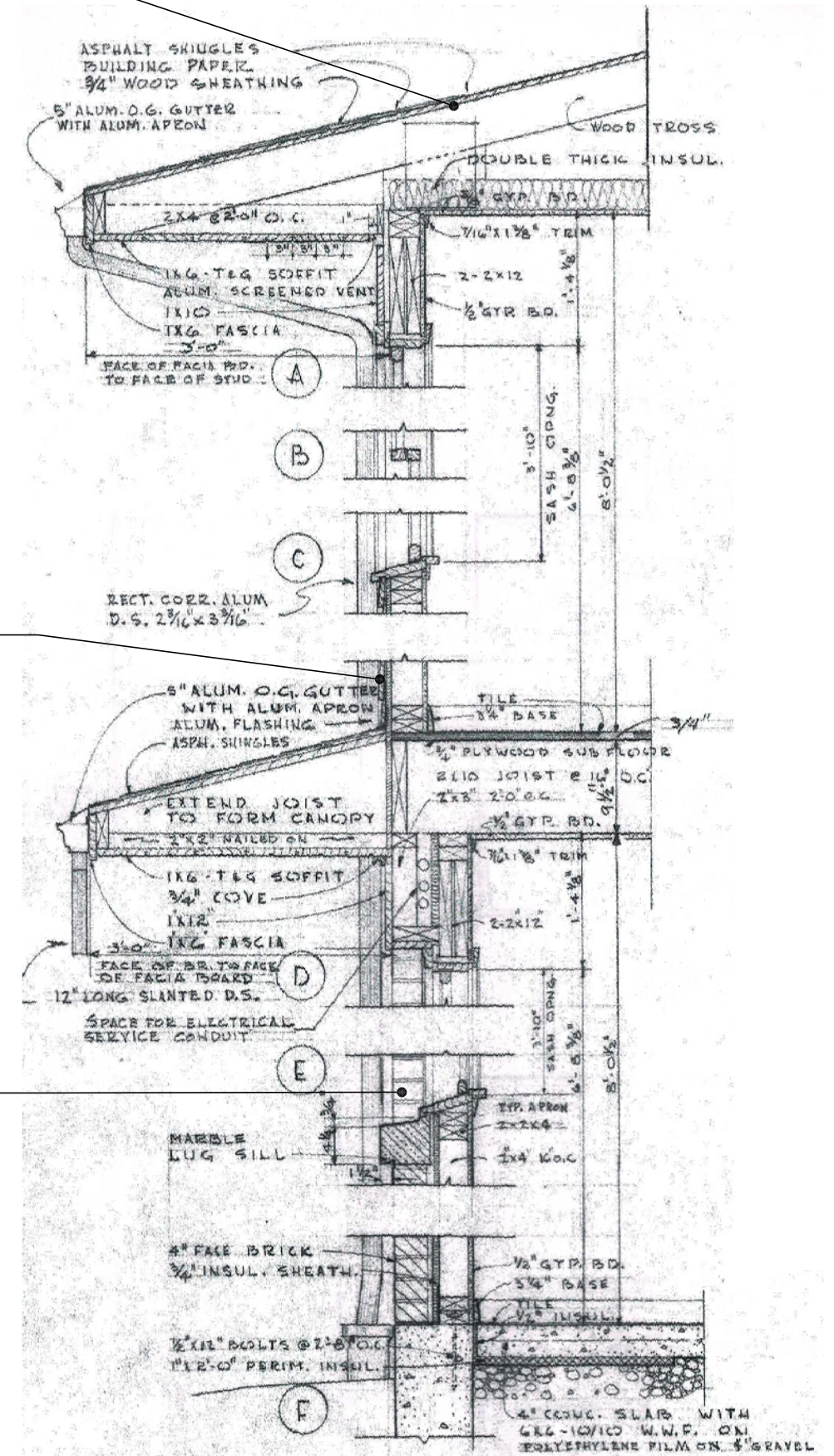
REPLACEMENT OF EXTG.
SHINGLE ROOF w/ NEW
ASPHALT ARCHITECTURAL
SHINGLES

NOTE:
PROVIDE MIN. R-49
INSULATION

AT UPPER EXISTING
SIDINGSECTION:
REPLACEMENT OF EXTG.
SIDING w/ NEW VINYL SIDING

AT LOWER MASONRY SECTION:
CLEAN AND TUCKPOINT
MASONRY FOR REPAIR AS
REQUIRED

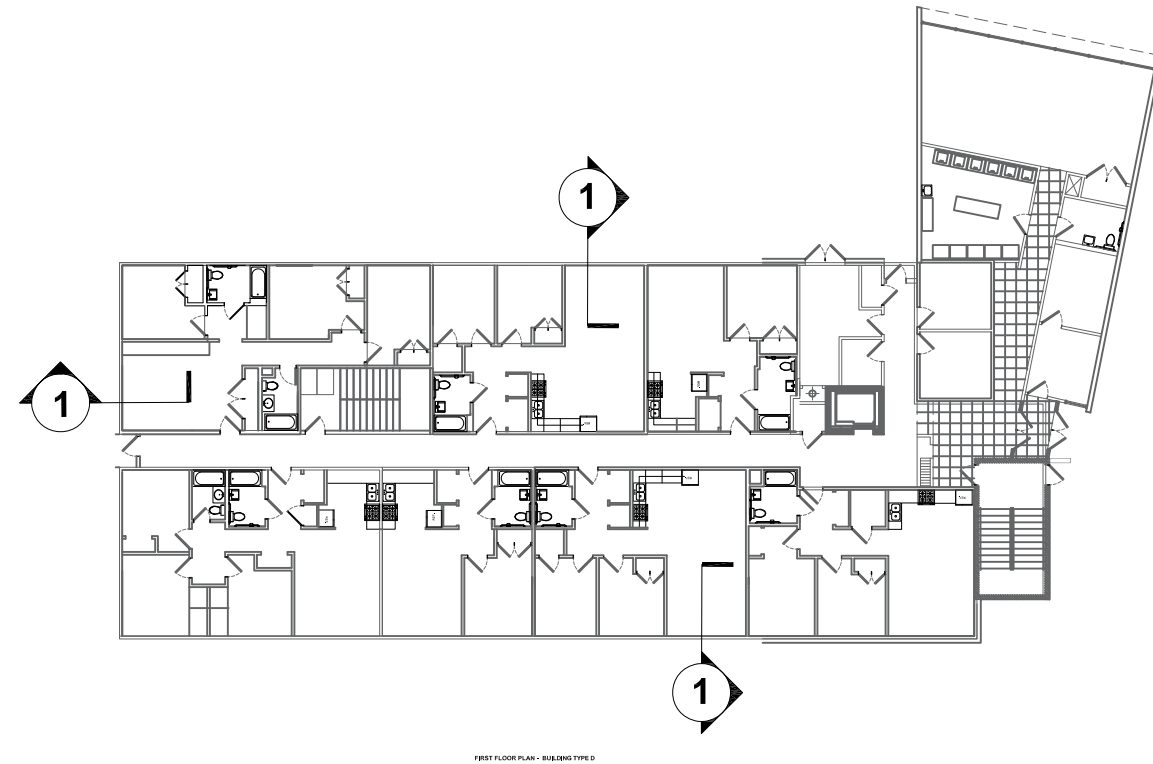
NOTE: EXISTING WALL SECTION
SHOWN FOR REFERENCE ONLY -
SEE NOTES FOR UPDATED SCOPE
AT 'F' TYPE BUILDINGS



**TYPICAL EXTG BUILDING 'F'
WALL SECTION w/ NEW SCOPE**
SCALE: NTS

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FIRST FLOOR PLAN - BUILDING TYPE D

**KEY PLAN @
NEW CONSTRUCTION BUILDING**
SCALE: NTS

TYP. WALL CONSTRUCTION

WOOD FRAME CONSTRUCTION W/
R20 min. BATT INSULATION AT ALL EXTERIOR WALLS
TYP. HARDIE BD. LAPSIDING AND TRIM
HARDIE BOARD PANEL SIDING AT SECTION OF
EXTERIOR WALL.
COLOR TO BE REVIEWS W/ GC. SEE ELEVATIONS.

T.O. PARAPET

T.O. PALTE

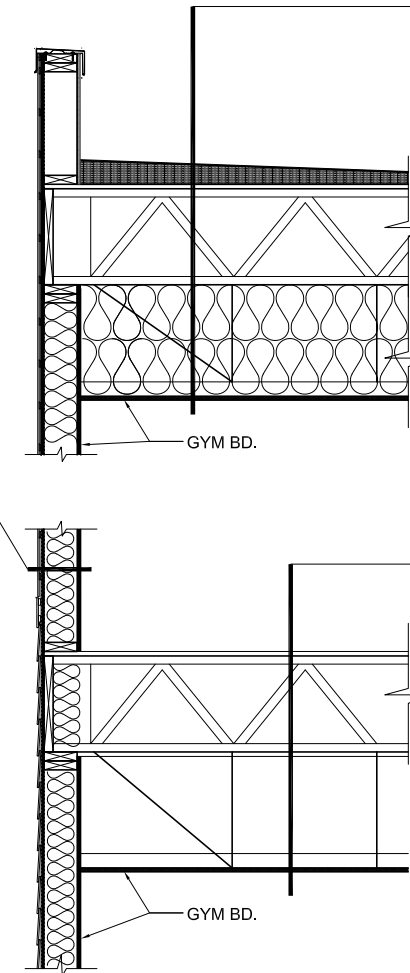
T.O. 2ND FLOOR

T.O. PALTE

T.O. GROUND FLOOR

FIN. GRADE

B.O. FOOTING
MIN. 3'-6" BELOW LOWEST GRADE



TYP. ROOF CONSTRUCTION

TPO ROOF MEMBRANE ON APPROVED PITCHED
SUBSTRATE
ENGINEERED ROOF RAFTERS
R-49 MIN. ROOF INSULATION
SUSPENDED CEILING SYSTEM W/
GYP. BOARD TYP. X

TYP. 2ND. FLOOR CONSTRUCTION

FINISH FLOORING
SUBFLOOR
ENGINEERED FLOOR JOIST
SUSPENDED CEILING SYSTEM W/
GYP. BOARD TYP. X

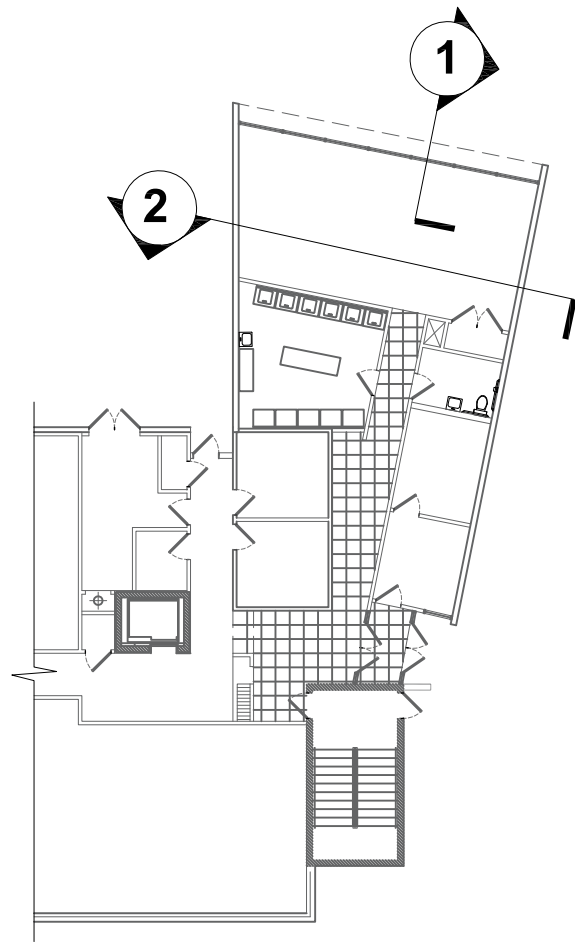
TYP. GROUND FLOOR CONSTRUCTION

FINISH FLOORING
SUBFLOOR
TYPICAL CONCRETE SLAB ON GRADE CONSTRUCTION
HORIZONTAL & VERT. RIGID INSULATION AT PERIMETER
OF NEW CONC. SLAB (R10 RIGID INSULATION)

**TYPICAL CONCRETE FOUNDATION
CONSTRUCTION**

**NEW SECTION @
NEW CONSTRUCTION BUILDING**

SCALE: 3/8" = 1'-0"



**KEY PLAN @
DEVELOPMENT COMMUNITY SPACE**
SCALE: NTS

